



Picnic Shelter Committee

Budget Recommendation to Foxhall Board

August 27, 2020

From: Picnic Shelter (ad hoc) Committee

To: Foxhall Board of Directors

We are submitting picnic shelter options and costs for Board consideration as you develop our Foxhall 2020-2021 capital and operational budgets.

Executive Summary:

Questionnaire preferences and general comments from Foxhall Community Association members show strong support for a picnic shelter.



A picnic shelter is a simple roof structure with no side walls, similar to this example photo.

With a shelter we anticipate residents can get more use out of our community owned park. A covered structure means the park can be enjoyed rain or shine!

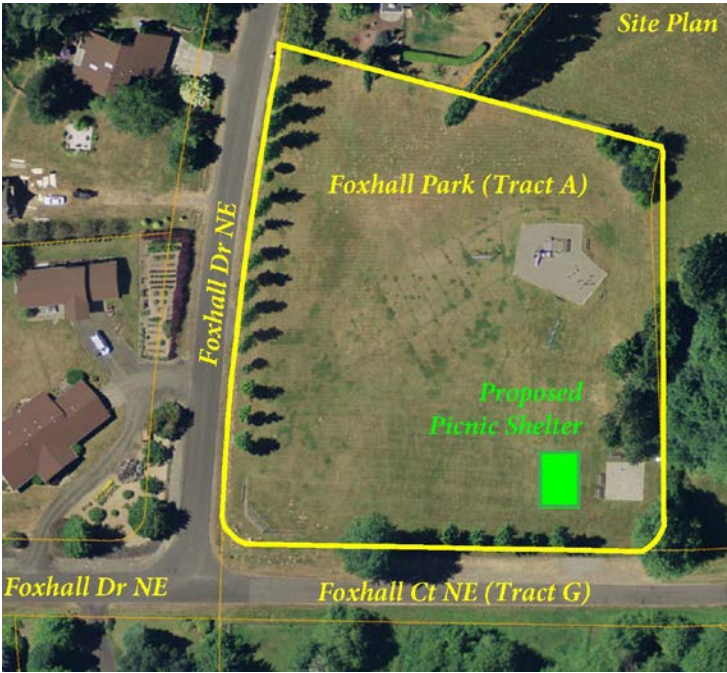
Foxhall Park can be enjoyed by more residents and more often with a picnic shelter as a good central meeting place. Read a good book, enjoy a friendly visit, or celebrate a special occasion.

A Picnic Shelter (ad hoc) Committee was formed to develop preliminary design and cost estimates as contained herein. The seven (7) Foxhall members who comprise this committee and prepared this recommendation are: Greg Darnell, Elaine Vaughn, Alan Vaughn, Shelly Couey, Paul Carlson, Kit Metlen, and Rob Armstrong.

We recommend a 21-foot x 32-foot size community picnic shelter in the southeast corner of Park 1.

We believe we can get this building built for a bargain price of \$23,000, by drawing upon unique talent and generosity that exists right now within our community. We estimate the total value of this picnic shelter at \$66,000, if bid out to hire a contractor to handle all the design, management, permits, equipment, labor and materials.

We propose a “community barn raising” approach for a significant cost savings. At this rare moment we have a really unique team of talent having experience, skills, tools, equipment and community service spirit to build it.



Foxhall Park (park 1) is a very nice 2.7 acre active park located within Foxhall, at the intersection of Foxhall Drive NE and Foxhall Court NE. Park features include: picnic tables, ball field with backstop, basketball sport court, swings, playground, and parking.

Proposed location for the picnic shelter is the southeast corner of Foxhall Park, beside the existing sport court and gravel parking area.

Under this “community barn raising” approach, Foxhall will pay for permits, final design, materials, and any specialized hauling or equipment rental.

Preliminary Budget for the Picnic Shelter:

Item	Description	Subtotal
1	Construction Plan Design Fees	\$2,000
2	Permits (Thurston County)	\$1,000
3	Concrete Slab, footing, sidewalk	\$4,320
4	Rock base under slab	\$880
5	Drainage system	\$1,120
6	Columns to support roof structure	\$360
7	Trusses, beams, joists	\$3,385
8	Roofing, underlayment, wood sheeting	\$4,392
9	Lighting and Electric	\$728
	Subtotal items 1 through 9	\$18,185
	8% Sales Tax on items 3 through 9	\$1,214
	Total	\$19,400
	Plus 20% Contingency for Feasibility Level	\$3,880
	GRAND TOTAL	\$23,280

Our team of talent has helped Foxhall with some major community improvements over the past several years, including our trails, playground, and drainage system. The likelihood that we’ll hold this team together for many more years is unlikely, so the time to act is now. Opportunity knocks but once.

Final design should begin immediately. Permits should be submitted right after final design is complete. Permits should be in hand by spring 2021. Construction should be done during summer 2021. Grand opening for the picnic shelter should be the 2021 Foxhall picnic.

Further Discussion of Size Consideration:

The 21’x32’ picnic shelter size is the consideration that most affects the budget. It is a “judgement call” that our committee reviewed from various different perspectives, then re-reviewed every time we met, and achieved unanimous consensus.

On the day of our 2019 Foxhall picnic, we set up a 13’x39’ tent “model shelter” at the proposed shelter location and quizzed members what they thought of the location and size. The consistent response was: “location looks good, length looks good, but make it twice as wide”.

We worked toward at design that achieves minimal waste of standard lumber building materials sizes. The 4-foot roof eaves make a 29’x40’ eave to eave dimension for the roof. The length allows us to use two 20-foot-long beams end to end. The width allows us to use 16-foot-long 2x6 joists. The even lengths allow us to use 4’x8’ wood sheeting without waste.

We stood on our existing 30’x30’ sport court for a perspective of the picnic shelter dimensions that will sit alongside it.

We visited a number of nearby picnic shelters and measured their sizes to re-confirm our needs. We even conducted two of our weekly meetings offsite inside of a picnic shelter (both Jubilee and Woodard Bay) to immerse ourselves in the design.

These are the nearby shelters we reviewed.

Woodard Bay NRCA: 18’x40’ at columns (roof 26’x43’)

Jubilee HOA: 38’x40’ at columns (roof 42’x46’)

Priest Point Park: 19’x22’ at columns (roof 23’x28’)

Lyon’s Park: 30’x30’ at columns (roof 40’x40’)

At our other committee meetings, we met at Foxhall Park and we staked out the shelter and met inside that footprint. We discussed the year round / daily uses by our community, including placement of picnic tables and chair seating. As your Picnic Shelter (ad-hoc) Committee, we believe the size has been considered seriously, and we recommend the size of 21’x32’ at the columns, which makes the roof above, and the slab below, a 29’x40’ dimension.

Multiple Design Options Considered:

The cost of the picnic shelter derives from the design. There is a long list of decisions that go into the complete design. We believe the diversity of experience within our Picnic Shelter Committee allowed us to identify, debate, and achieve consensus on these design decisions, which are summarized in Exhibit A. Ultimately, we analyzed preliminary design and cost estimates of three design options:

- Option 1: Beam & Joist Roof \$23,280
- Option 2: Truss & Purlin Roof \$23,193
- Option 3: Scissor Truss Roof \$23,620

The main difference between the three options is the structural arrangement of the roof structure. Options 1 and 3 use six steel I-beam columns, which would otherwise cost \$2,000 more than listed above, except Paul Carlson will donate them. Option 2 uses eight 6x6 treated wood columns. All three options use the same roof sheeting, concrete flatwork, drainage, and other design considerations. See Exhibits E through J for preliminary design plans and more detailed cost estimating.

Your Picnic Shelter Committee recommends Option 1.

Further Refinement of Budget at Each Step of Process:

This picnic budget and preliminary design is a valuable first step in a process. The budget must be re-calculated after the Construction Plan Designs are complete. The budget must be re-calculated again after the building permit is issued by Thurston County. The material quantities will change with each level of refinement, and material prices always fluctuate over time, and don't get locked in until purchase. The budget must be re-calculated when we receive the final bids on materials at the time of purchase.

Foxhall board and membership must recognize this process, and this initial budget number is just that, an initial budget number. It is the result of hundreds of volunteer hours of preliminary design work and collaboration from seven Foxhall members, who have many combined years of extensive and diverse experience, from each of our own careers and projects. This is not a bid. None of us take any profit in this picnic shelter project, except we will benefit from this wonderful amenity addition to our neighborhood the same as any other Foxhall resident.

Budget Financing Suggestions:

We realize also that funding a \$23,000 project will require innovative financing to work within our Foxhall Community Association annual budget constraints. We have some ideas in that regard too, which we hope to discuss with the board and membership.

We understand that Foxhall's annual budget spending has been used for Operating and Maintenance items on a current year basis.

This Foxhall Park Picnic Shelter project is a Capital Improvement budget item. Such projects are generally paid for over a period of time. Once we look at it this way, we have several options to pay for this project.

1. Private Bond or Loan Debt: We could issue private bond shares or promissory notes to Foxhall members willing to invest in a low interest return for the good of the community. That could enable us to defer the payment stream over a long period of time, say 10-years or so.
2. Special Assessment: If every Foxhall member paid a one-time \$200 "special assessment" we can easily pay for it now. This approach is similar to Foxhall's regular annual dues that fund our operating and maintenance items.
3. Donations: In this "go fund me" era, there may be many members willing to donate amounts commensurate to their personal situation. Engraved bricks could be built into the structure to recognize their generosity.
4. Bank Debt: This is an option but it would take quite a bit of work assembling the documentation and potential guarantees, but bank interest rates are currently quite low. Collateralization may be required.
5. Combination of Donations, Dues, and Other Financing: This would reduce our annual costs, but creates a lot of leg work to gather the funds.

Other Considerations Not Part of this Proposal:

Foxhall Park has other future upgrade considerations that have been discussed by residents and this committee that are not outlined as a part of this specific picnic shelter proposal:

- A second, smaller, permanent shelter structure adjacent to the children’s big toy play area.
- A shorter term sun/rain fabric structure until the second, smaller, permanent shelter can be built.
- Additional or replacement play sets, including horse shoe pits.
- Jogging and walking path around the park perimeter.
- Power service to the picnic shelter and security light poles (PSE has transformer 380 feet from shelter).
- Water service to the picnic shelter and park irrigation (Washington Water has water line in Foxhall Court).
- Hardscape pavers adjacent to the picnic shelter for adjacent uncovered area.
- Replace wood work on three existing picnic tables with new thicker planks.

List of Exhibits:

Attached with this recommendation are tables, preliminary design plans, and cost estimates.

- Exhibit A: Matrix Summary of Design Details
- Exhibit B: Cost Estimate for Option 1: Beam and Joist Roof
- Exhibit C: Picnic Shelter Site Plan
- Exhibit D: Picnic Shelter Plot Plan
- Exhibit E: Option 1 Beam and Joist Roof – Plan View and Elevation View
- Exhibit F: Option 1 Beam and Joist Roof – Detailed Cross Section
- Exhibit G: Cost Estimate for Option 2: Truss and Purlin Roof
- Exhibit H: Option 2 Truss and Purlin Roof – Plan View and Elevation View
- Exhibit I: Cost Estimate for Option 3: Scissor Truss Roof
- Exhibit J: Option 3 Scissor Truss Roof – Plan View and Elevation View

Exhibit A

In order to develop our budget estimate, we prepared fairly detailed preliminary designs for three options, which required a number of individual decisions. The following matrix provides an initial summary of these considerations:

Item No.	Detail Description	Decision, reasons
1	Location	Long-term plan to include two shelters, a larger shelter near the parking area and a smaller shelter near the play structures. First permanent shelter would be near the parking area; a shorter term sun/rain fabric structure to be considered for the play area.
2	Size (width x length)	Dimensions 21' wide x 32' long at support columns, plus 4' roof eaves (roof 29'x40')
3	Shape (rectangle, octagon)	Rectangle (less expensive and easier to build).
4	Roof type	Metal, 3-foot wide 4-rib type (long life less cost) over wood sheeting for noise (OSB or plywood and tri-ply liner). Decided against architectural composition shingles (more expensive, shorter life, more maintenance)
5	Roof color	To be determined. Brown will probably show dirt less than other colors.
6	Roof height above floor	10-feet high at beam, 8-feet high at eave
7	Truss type (pre-fab, build onsite, scissor, other)	6/12 roof pitch (6" vertical per 12" horizontal) Three options considered and priced.
8	Roof eaves overhang	4-foot eaves (21'x32' outer legs) makes roof 29'x40' eave to eave
9	Support columns	Steel 4"x8" I-beam (generous donation from Paul Carlson – save \$2,000). Box out 12"x12", stone wrapped at bottom.
10	Sides	No permanent sides due to security and graffiti concerns, but attachment points for soft sides / screens / tarps to be considered
11	Floor type	Broom finish concrete for non-slip safety. Slab dimensions 30'x40' x 5" thick. Fiber added to concrete for reinforcement (in lieu of rebar).
12	Lighting and Electrical	Single solar panel, 12-volt deep cell battery, 12Vx110V inverter, timer switch, LED lights. Dry conduit to allow convert connection to PSE
13	Drainage and gutters	Footing drain pipe around slab, bedded in pea gravel. Crushed rock and plastic sheet under slab. Gutters and downspouts pipe to drainage. Yard drain and catch basin connect to ex culvert.

14	Walkway access	5-foot wide cement concrete sidewalk, broom finish, both from shelter to sport court, and from shelter to parking.
15	Possible future additional shelter consideration	“Mini-me” shelter by play area future project; to be planned after main building is up.
16	Cost considerations for each detail decision	Detailed preliminary cost estimate prepared
17	Fixtures	<u>Water</u> : pipes laid in but not attached; hook ups and annual costs to be estimated; but not planned as part of this plan <u>Electricity</u> : conduit laid in; not attached; hook ups and annual costs to be estimated but not planned as part of this plan <u>Toilets</u> : sani-cans; same as now <u>Garbage</u> : Lemay trash can; same as now <u>Picnic tables</u> : Look upgrade of 3 existing tables, heavy galvanized frames look good, replace wood work, thicker planks.
18	Phasing	A. Engineering plans for the structure (now) B. Apply for building permit (after plans done) C. Build Summer 2021 (need permits by spring) D. Grand opening goal 2021 Foxhall picnic
19	Permits	Thurston County building.
20	Example picnic shelters existing in nearby parks and HOA and what we thought of them	Committee held offsite meetings at Jubilee, Woodard Bay, and Greg’s pole barn to inspect for design ideas: Jubilee: Manufactured truss, box in columns, power, lighting Woodard Bay: steel columns, skylights, solar, lighting Greg’s barn: Wood columns, truss, purlin Greg and Rob also inspected Priest Point Park, Lyons Park, LBA Park.
21	Online Examples	Top beam with roof joists (exhibit B photo)
22	Roof Structure Options	Option 1: beam and joist (6 columns) Option 2: truss and purlin (8 columns) Option 3: scissor truss (6 columns) Stain all roof underside exposed beams, sheeting, truss, purlin, joist
23	Insurance: cost after completion, coverage while building	Looking for cost estimates for: annual costs, construction period, additional liability costs: Greg follows this
25	Reservations for picnic shelter use	Hopefully online
26	Property Taxes: cost after completion	Thurston County says no increase in property taxes to picnic shelter structure because it is a community benefit amenity

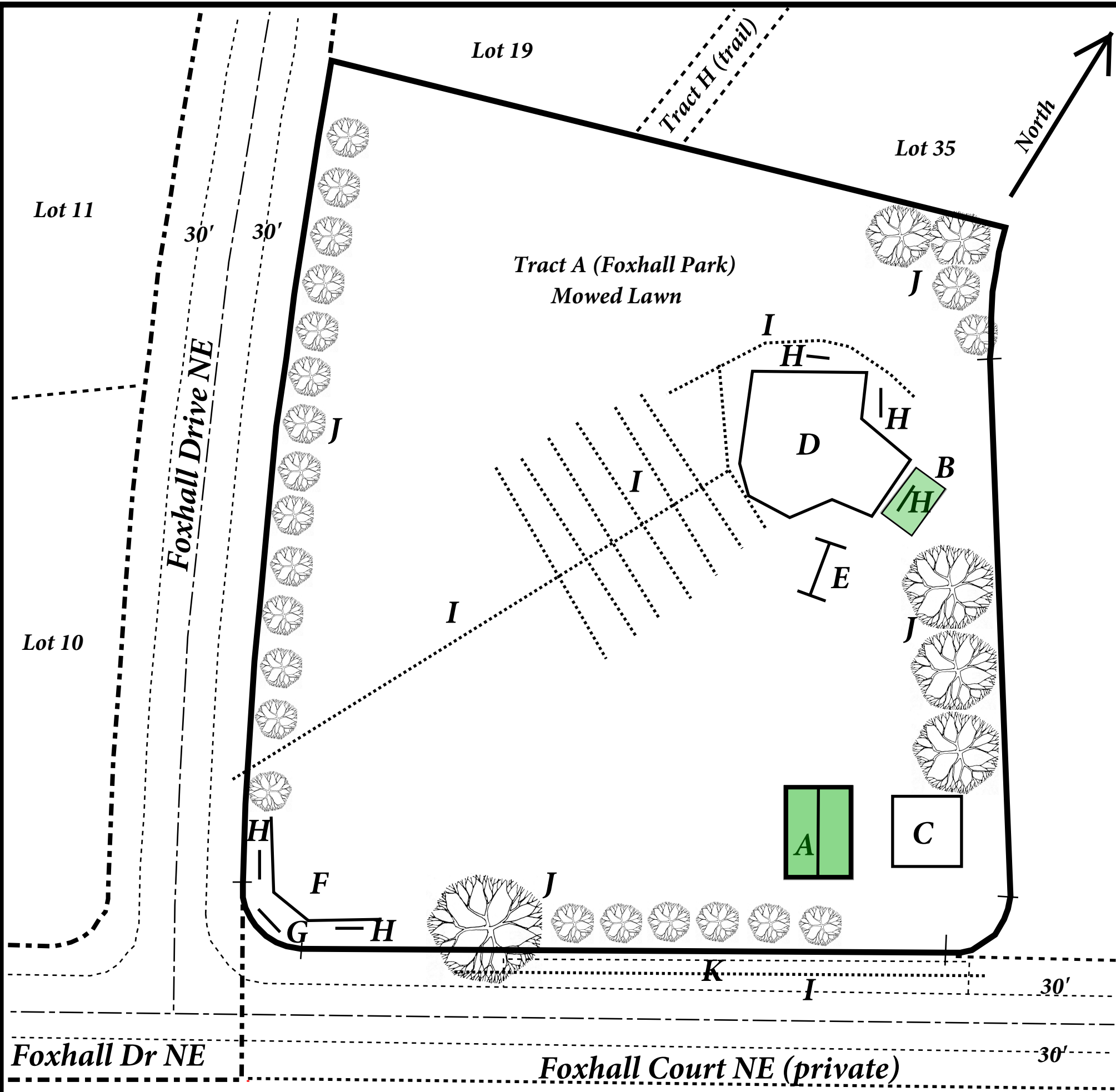
Foxhall Picnic Shelter Budget Estimate

Option 1: Beam and Joist Roof

Exhibit B

<u>Item</u>	<u>Description</u>	<u>Quantity</u>	<u>Unit</u>	<u>Unit Price</u>	<u>Total</u>
1	Construction Plan Design Fees				
1A	Consultant Name TBD	1	LS	\$2,000	\$2,000
	Subtotal Item 1				\$2,000
2	Permits				
	Thurston County	1	LS	\$1,000	\$1,000
	Subtotal Item 2				\$1,000
3	Concrete Slab, footing, sidewalk				
3A	Concrete Slab 30'x40'x5"	20	CY	\$125	\$2,500
3B	Concrete Footing 18"x18"x80'	7	CY	\$125	\$875
3C	Concrete Sidewalk 5'x55'x5"	5	CY	\$125	\$625
3D	2x6 Wood Forms (donation)	140	LF	\$0	\$0
3E	1/2"x20' #4 Rebar	8	EA	\$9	\$72
3F	5/8"x6" wedge bolt column anchors	24	EA	\$6	\$144
3G	6 mil plastic sheet vapor barrier	1	EA	\$104	\$104
	Subtotal Item 3				\$4,320
4	Rock Base Under Slab				
4A	Grade pad and haul away soil (donation)	50	CY	\$0	\$0
4B	5/8" crushed rock base 29'x40'x5"	20	CY	\$44	\$880
	Subtotal Item 4				\$880
5	Drainage System				
5A	Catch Basin, cast in place, set on Ex 12"	1	EA	\$250	\$250
5B	Yard Drain, precast	1	EA	\$250	\$250
5C	4" PVC perforated pipe	140	LF	\$2	\$280
5D	4" PVC solid pipe	60	LF	\$2	\$120
5E	Pea gravel for footing drains	5	CY	\$44	\$220
	Subtotal item 5				\$1,120
6	Columns and Hardware				
6A	4"x8"x10' Steel I-Beam (Donation)	6	EA	\$0	\$0
6B	4'x10'x7/16" OSB sheeting	6	EA	\$20	\$120
6C	4'x8' Hardi Plank sheeting	6	EA	\$40	\$240
6D	Brick wrap column base (donation)	72	SF	\$0	\$0
	Subtotal Item 6				\$360

<u>Item</u>	<u>Description</u>	<u>Quantity</u>	<u>Unit</u>	<u>Unit Price</u>	<u>Total</u>
7	Trusses, beams, joists				
7A	6x12 x 20' roof beam	6	EA	\$136	\$816
7B	2x6 x 16' roof joist	56	EA	\$15	\$840
7C	2x6 x 20' eave fascia	4	EA	\$19	\$76
7D	6x12 x 20' cross beam	3	EA	\$136	\$408
7E	4x6 x 16' truss beams	7	EA	\$35	\$245
7F	Hardware, nails, screws, brackets	1	LS	\$1,000	\$1,000
	Subtotal Item 7				\$3,385
8	Roofing, Underlayment, Sheeting				
8A	4'x8'x7/16" OSB Sheeting	40	EA	\$16	\$640
8B	8'x100' Triply Underlayment	2	EA	\$290	\$580
8C	3'x16' Metal Roof Sheet	28	EA	\$47	\$1,316
8D	10' Metal Gable Trim	8	EA	\$20	\$160
8E	10' Metal Eve Trim	8	EA	\$10	\$80
8F	10' Metal Ridge	4	EA	\$20	\$80
8G	Top & Bottom Closure Seals	60	EA	\$2	\$120
8H	Lap Seal Rolls	4	EA	\$16	\$64
8I	1" Screws	2,000	EA	\$0.10	\$200
8J	Olympic Elite Stain (3 gallon cans)	4	EA	\$128.00	\$512
8K	6-inch Gutters	80	LF	\$8.00	\$640
	Subtotal Item 7				\$4,392
9	Lighting and Electric				
9A	100 Watt Solar Panel	1	EA	\$160	\$160
9B	12 Volt Golf Cart Deep Cell Battery	1	EA	\$240	\$240
9C	500 Watt 12V to 120V Inverter	1	EA	\$60	\$60
9D	Electronic Timer Switch 24/365	1	EA	\$30	\$30
9D	Ceiling Mount Light Fixture	8	EA	\$11	\$88
9E	Wire, Switches, Boxes, Plugs	1	LS	\$100	\$100
9F	Conduit to street for future power	50	LF	\$1	\$50
	Subtotal Item 8				\$728
	SUBTOTAL ITEMS 1 AND 2				\$3,000
	SUBTOTAL ITEMS 3 THROUGH 9				\$15,185
	8% Sales Tax on items 3 thru 9				\$1,214.80
	Total				\$19,399.80
	Plus 20% Contingency for Feasibility Phase Estimating				\$3,879.96
	GRAND TOTAL				\$23,279.76

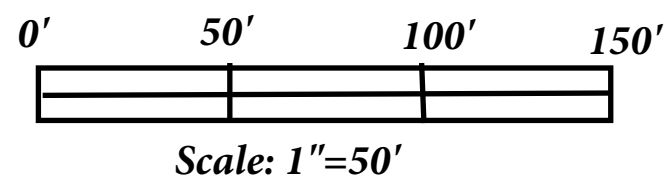


Site Data:

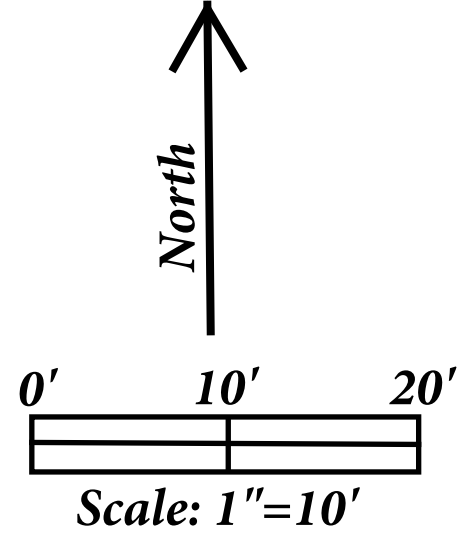
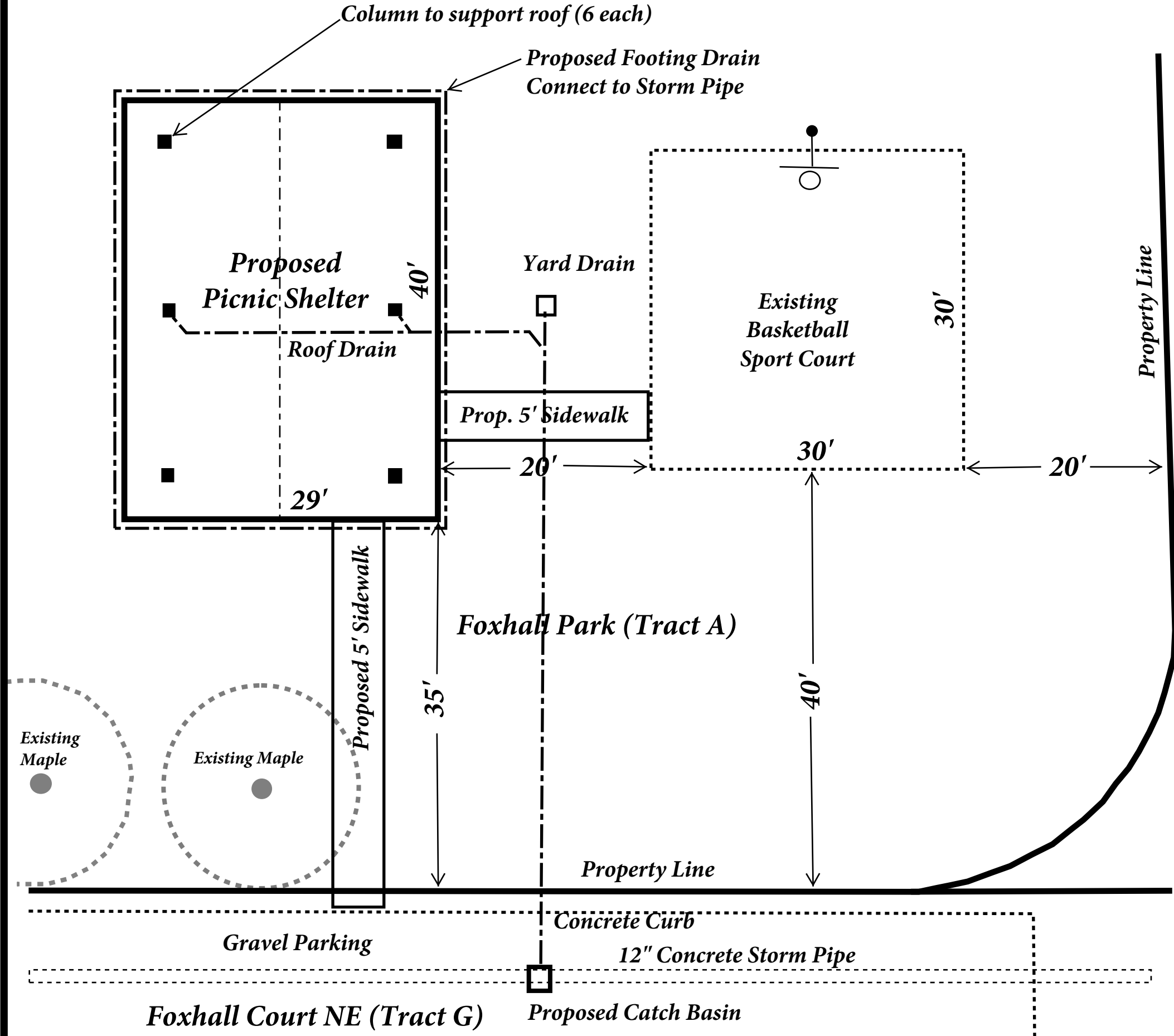
Parcel Number: 48810100000
 Owner: Foxhall Community Association
 Legal: Parcel A of Foxhall Div 1, AFN 8111170090
 Site Area: 2.68 acres

Keynotes:

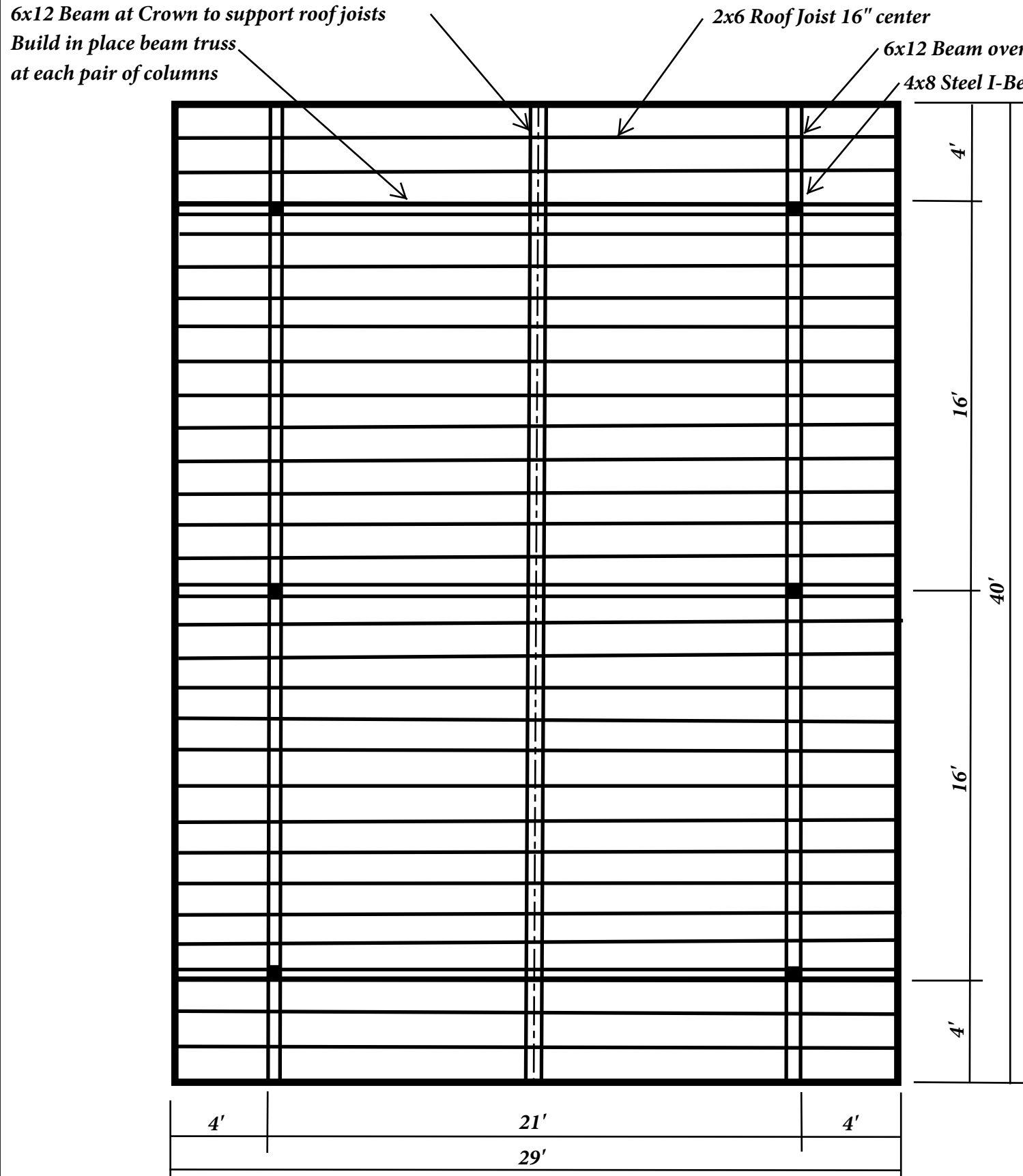
- A Proposed 21'x32' Picnic Shelter (Roof 29'x40')
- B Proposed Shade Screen / Future Small Shelter
- C Existing basketball / sport court (30'x30')
- D Existing childrens play area / tot lot
- E Existing swing set
- F Existing baseball backstop
- G Existing Foxhall Park monument sign
- H Existing bench (typical)
- I Existing private drainage system (pipe or swale)
- J Existing tree (typical)
- K Existing parking area for Foxhall Park



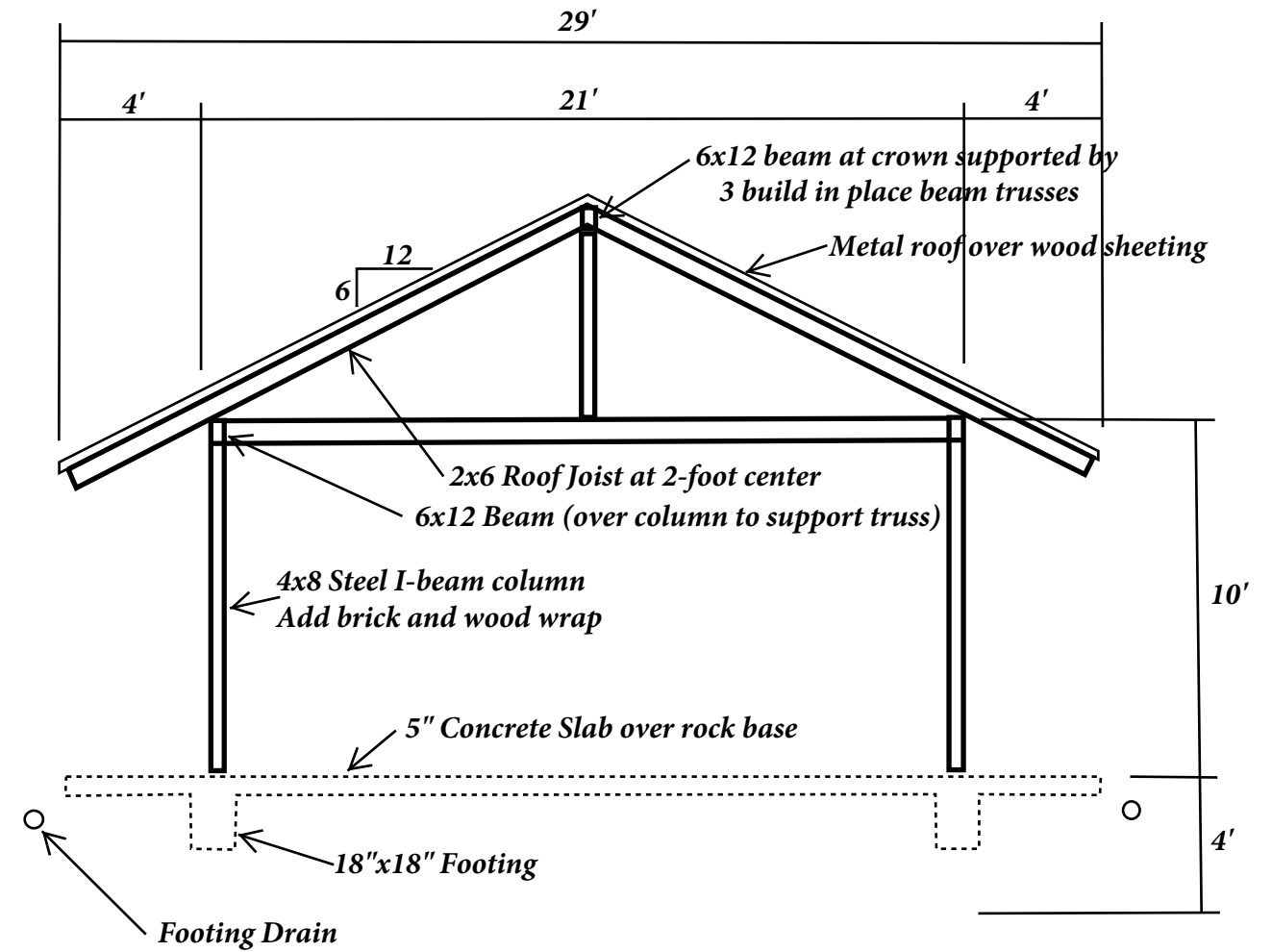
Picnic Shelter Site Plan
 Foxhall Community Association
 August 27, 2020 draft



Picnic Shelter Plot Plan
Foxhall Community Association
August 27, 2020 draft



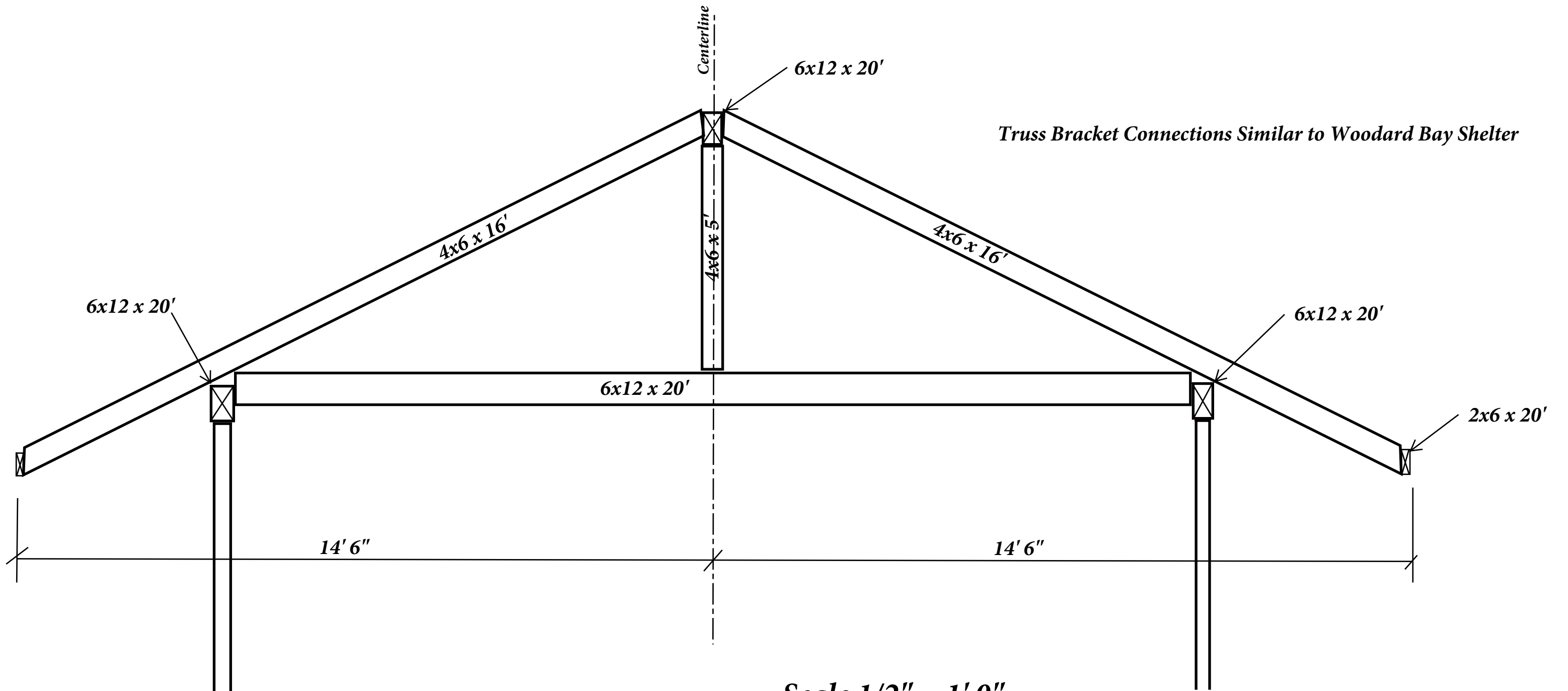
Roof Rafter Plan View
Scale 3/8" = 1'-0"



North and South Elevation View
Scale 3/8" = 1'-0"

- Rough Quantities:**
 Concrete Slab: 1,200 sf
 Rock Base: 1,200 sf
 6x6x16' Columns: 6
 Beam Truss: 3 (21' support span)
 6x12x20' Beam: 9
 2x6x16' Roof Joist: 36
 2x6x20' Eave Fascia: 4
 Metal Roof: 1,280 sf
 Wood sheathing: 1,280 sf
 Brick and wood wrap for columns

Picnic Shelter Roof Plan
 Beam and Joist Option
Foxhall Community Association
 August 27, 2020 draft



Truss Bracket Connections Similar to Woodard Bay Shelter

Scale 1/2" = 1' 0"

Picnic Shelter Roof Plan
Detailed Cross Section
Foxhall Community Association
August 27, 2020 draft

- ← *4" x 8" x 10' Steel I-Beam Column*
- ← *Steel Mounting Plate welded to column*
- ← *5/8" Wedge Bolts*
- ← *5" Concrete Slab*
- ← *18" x 18" x 40' Concrete Footing*
- ← *#4 Rebar*

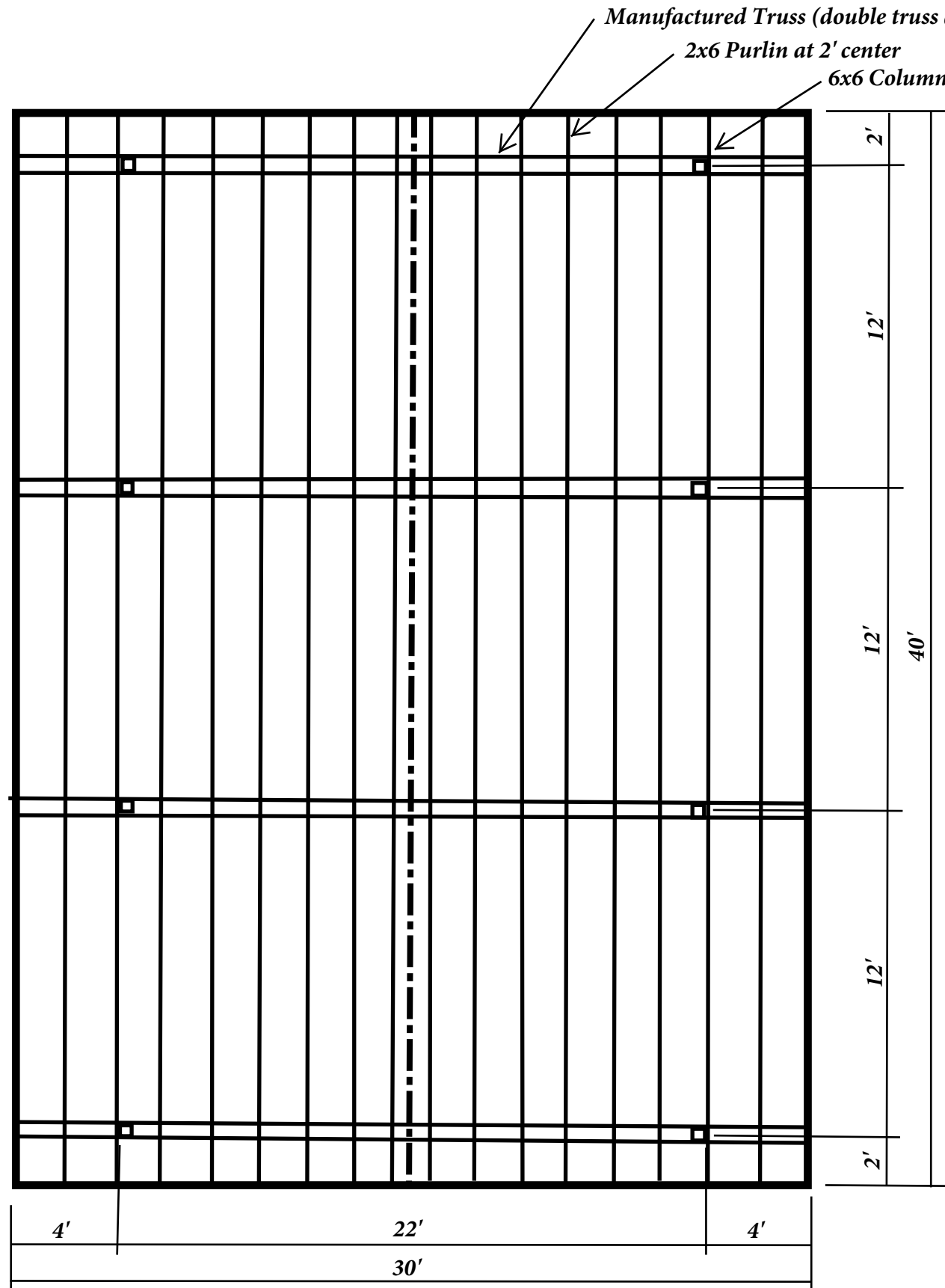
Foxhall Picnic Shelter Budget Estimate

Option 2: Truss and Purlin Roof

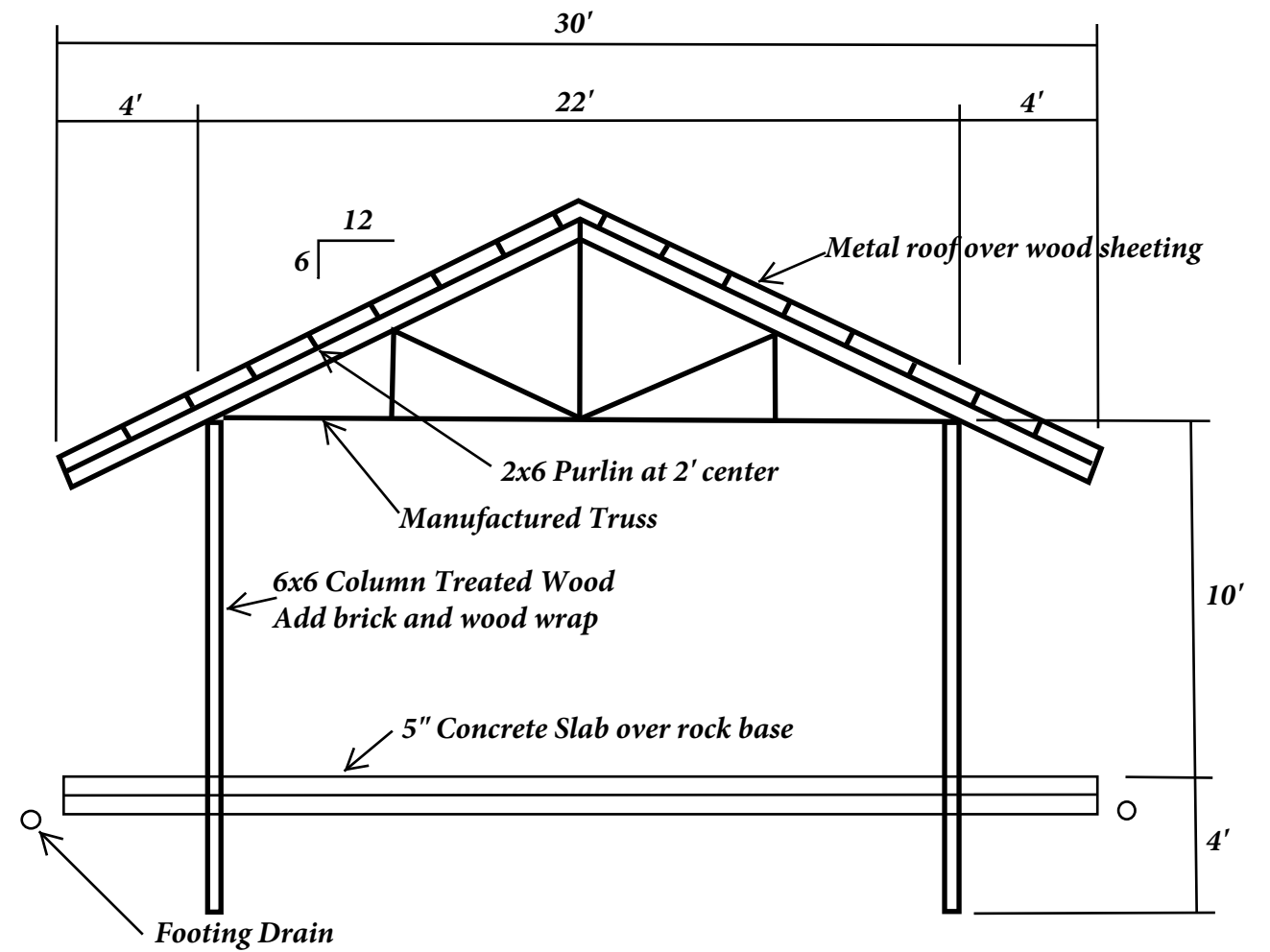
Exhibit G

<u>Item</u>	<u>Description</u>	<u>Quantity</u>	<u>Unit</u>	<u>Unit Price</u>	<u>Total</u>
1	Construction Plan Design Fees				
1A	Consultant Name TBD	1	LS	\$2,000	\$2,000
	Subtotal Item 1				\$2,000
2	Permits				
	Thurston County	1	LS	\$1,000	\$1,000
	Subtotal Item 2				\$1,000
3	Concrete Slab, footing, sidewalk				
3A	Concrete Slab 30'x40'x5"	20	CY	\$125	\$2,500
3B	Concrete Footing 18"x18"x80'	7	CY	\$125	\$875
3C	Concrete Sidewalk 5'x55'x5"	5	CY	\$125	\$625
3D	2x6 Wood Forms (donation)	140	LF	\$0	\$0
3E	1/2"x20' #4 Rebar	8	EA	\$9	\$72
3F	5/8"x6" wedge bolt column anchors	24	EA	\$3	\$72
3G	6 mil plastic sheet vapor barrier	1	EA	\$104	\$104
	Subtotal Item 3				\$4,248
4	Rock Base Under Slab				
4A	Grade pad and haul away soil (donation)	50	CY	\$0	\$0
4B	5/8" crushed rock base 29'x40'x5"	20	CY	\$44	\$880
	Subtotal Item 4				\$880
5	Drainage System				
5A	Catch Basin, cast in place, set on Ex 12"	1	EA	\$250	\$250
5B	Yard Drain, precast	1	EA	\$250	\$250
5C	4" PVC perforated pipe	140	LF	\$2	\$280
5D	4" PVC solid pipe	60	LF	\$2	\$120
5E	Pea gravel for footing drains	5	CY	\$44	\$220
	Subtotal item 5				\$1,120
6	Columns and Hardware				
6A	6x6 x 16' treated wood columns	8	EA	\$88	\$704
6B	4'x10'x7/16" OSB sheeting	6	EA	\$20	\$120
6C	4'x8' Hardi Plank sheeting	6	EA	\$40	\$240
6D	Brick wrap column base (donation)	72	SF	\$0	\$0
	Subtotal Item 6				\$1,064

<u>Item</u>	<u>Description</u>	<u>Quantity</u>	<u>Unit</u>	<u>Unit Price</u>	<u>Total</u>
7	Trusses, beams, joists				
7A	30-foot truss	8	EA	\$100	\$800
7B	2x6 x 14' roof purlin	36	EA	\$15	\$540
7C	2x6 x 12' roof purlin	18	EA	\$15	\$270
7D	2x6 x 20' eave fascia	4	EA	\$19	\$76
7E	Hardware, nails, screws, brackets	1	LS	\$1,000	\$1,000
	Subtotal Item 7				\$2,686
8	Roofing, Underlayment, Sheeting				
8A	4'x8'x7/16" OSB Sheeting	40	EA	\$16	\$640
8B	8'x100' Triply Underlayment	2	EA	\$290	\$580
8C	3'x16' Metal Roof Sheet	28	EA	\$47	\$1,316
8D	10' Metal Gable Trim	8	EA	\$20	\$160
8E	10' Metal Eve Trim	8	EA	\$10	\$80
8F	10' Metal Ridge	4	EA	\$20	\$80
8G	Top & Bottom Closure Seals	60	EA	\$2	\$120
8H	Lap Seal Rolls	4	EA	\$16	\$64
8I	1" Screws	2,000	EA	\$0.10	\$200
8J	Olympic Elite Stain (3 gallon cans)	4	EA	\$128.00	\$512
8K	6-inch Gutters	80	LF	\$8.00	\$640
	Subtotal Item 7				\$4,392
9	Lighting and Electric				
9A	100 Watt Solar Panel	1	EA	\$160	\$160
9B	12 Volt Golf Cart Deep Cell Battery	1	EA	\$240	\$240
9C	500 Watt 12V to 120V Inverter	1	EA	\$60	\$60
9D	Electronic Timer Switch 24/365	1	EA	\$30	\$30
9D	Ceiling Mount Light Fixture	8	EA	\$11	\$88
9E	Wire, Switches, Boxes, Plugs	1	LS	\$100	\$100
9F	Conduit to street for future power	50	LF	\$1	\$50
	Subtotal Item 8				\$728
	SUBTOTAL ITEMS 1 AND 2				\$3,000
	SUBTOTAL ITEMS 3 THROUGH 9				\$15,118
	8% Sales Tax on items 3 thru 9				\$1,209.44
	Total				\$19,327.44
	Plus 20% Contingency for Feasibility Phase Estimating				\$3,865.49
	GRAND TOTAL				\$23,192.93



Roof Rafter Plan View
 Scale 3/8" = 1'-0"



North and South Elevation View
 Scale 3/8" = 1'-0"

- Rough Quantities:**
 Concrete Slab: 1,200 sf
 Rock Base: 1,200 sf
 6x6x16' Columns: 8
 30' Truss: 8
 2x6x12' Purlins: 18
 2x6x14' Purlins: 36
 2x6x16' End Eave: 4
 Metal Roof: 1,280 sf
 Wood sheeting: 1,280 sf
 Brick and wood wrap for columns

Picnic Shelter Roof Plan
 Truss and Purlins Option
 Foxhall Community Association
 August 27, 2020 draft

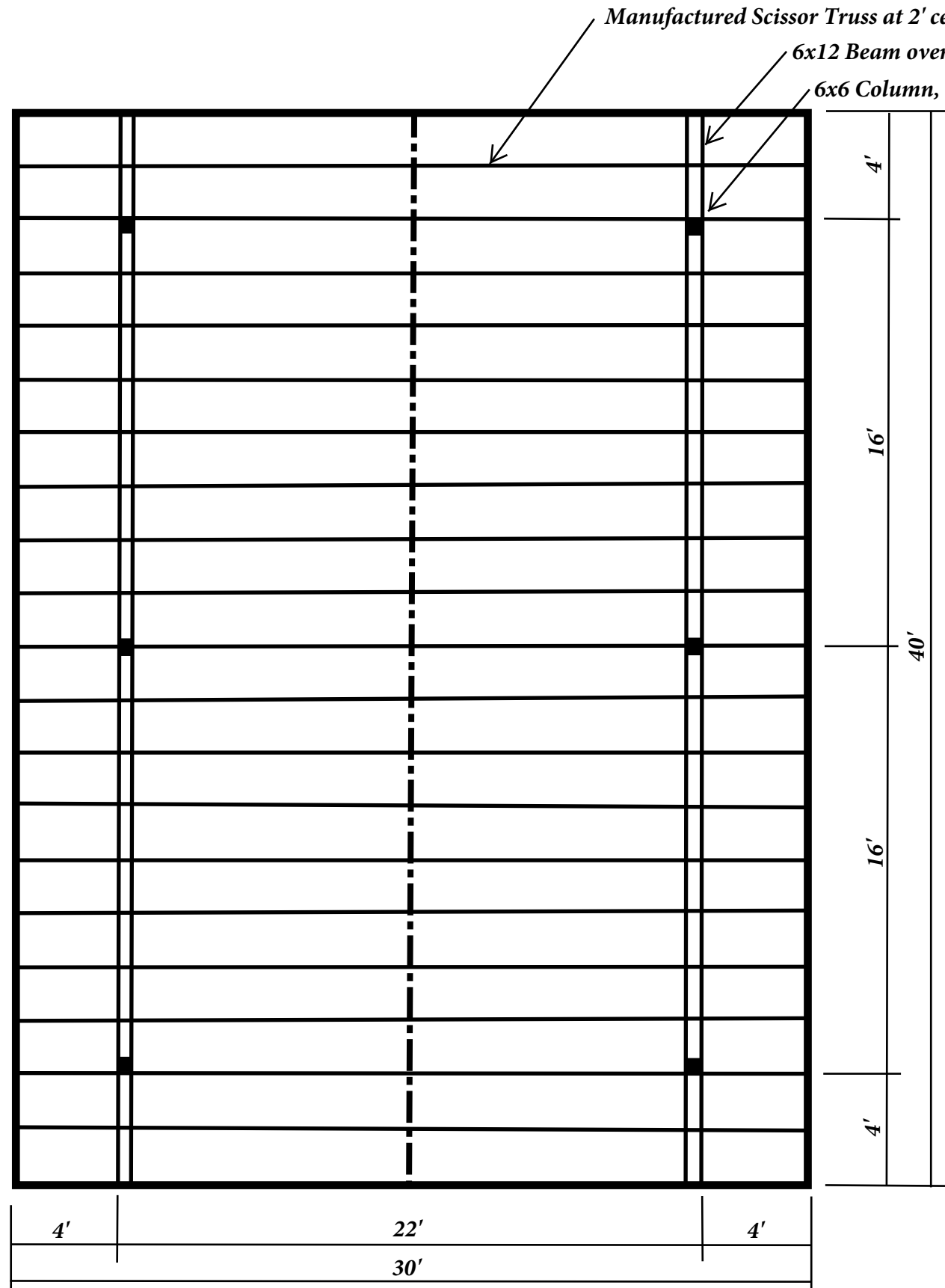
Foxhall Picnic Shelter Budget Estimate

Option 3: Scissor Truss Roof

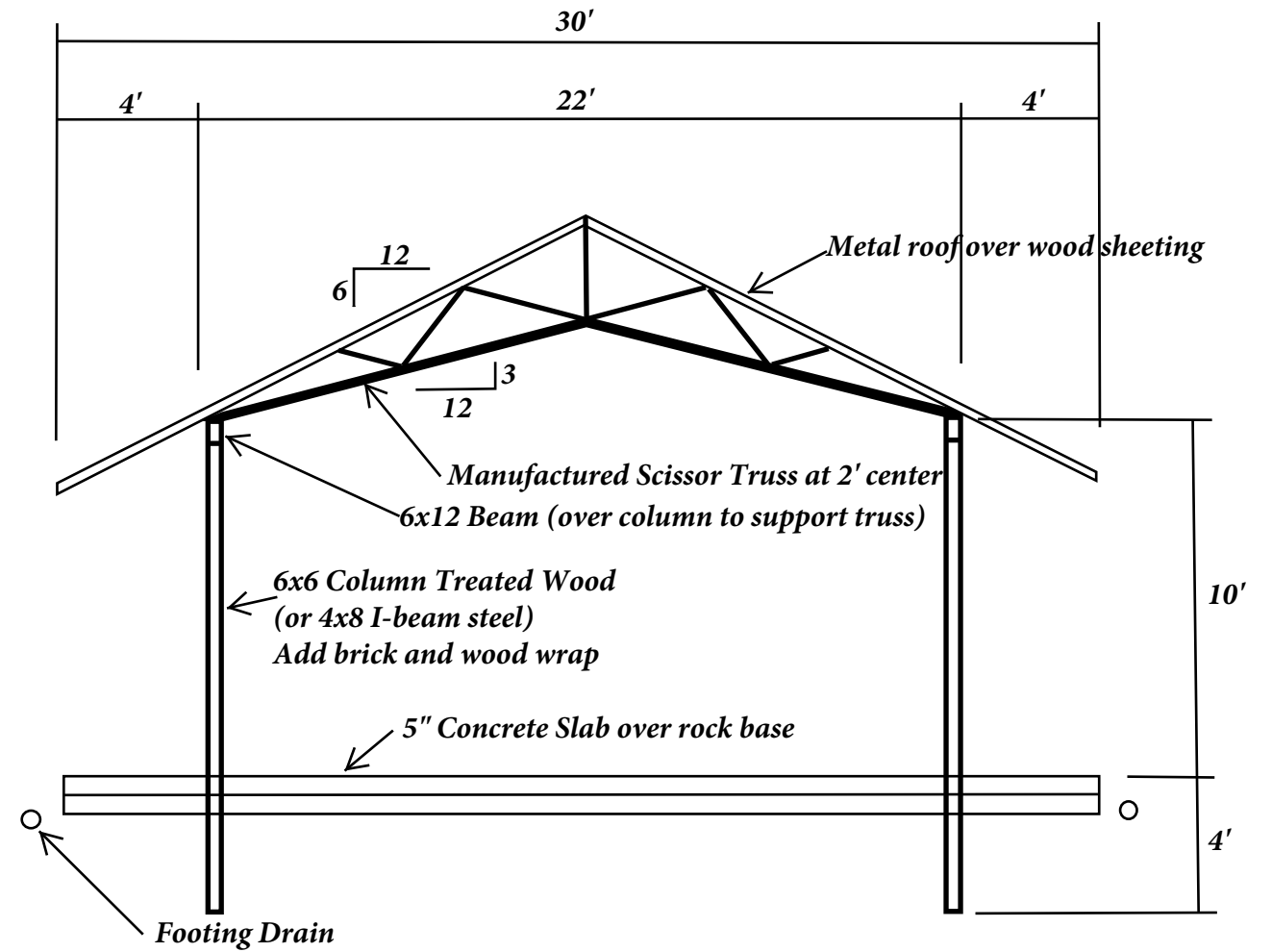
Exhibit I

<u>Item</u>	<u>Description</u>	<u>Quantity</u>	<u>Unit</u>	<u>Unit Price</u>	<u>Total</u>
1	Construction Plan Design Fees				
1A	Consultant Name TBD	1	LS	\$2,000	\$2,000
	Subtotal Item 1				\$2,000
2	Permits				
	Thurston County	1	LS	\$1,000	\$1,000
	Subtotal Item 2				\$1,000
3	Concrete Slab, footing, sidewalk				
3A	Concrete Slab 30'x40'x5"	20	CY	\$125	\$2,500
3B	Concrete Footing 18"x18"x80'	7	CY	\$125	\$875
3C	Concrete Sidewalk 5'x55'x5"	5	CY	\$125	\$625
3D	2x6 Wood Forms (donation)	140	LF	\$0	\$0
3E	1/2"x20' #4 Rebar	8	EA	\$9	\$72
3F	5/8"x6" wedge bolt column anchors	24	EA	\$3	\$72
3G	6 mil plastic sheet vapor barrier	1	EA	\$104	\$104
	Subtotal Item 3				\$4,248
4	Rock Base Under Slab				
4A	Grade pad and haul away soil (donation)	50	CY	\$0	\$0
4B	5/8" crushed rock base 29'x40'x5"	20	CY	\$44	\$880
	Subtotal Item 4				\$880
5	Drainage System				
5A	Catch Basin, cast in place, set on Ex 12"	1	EA	\$250	\$250
5B	Yard Drain, precast	1	EA	\$250	\$250
5C	4" PVC perforated pipe	140	LF	\$2	\$280
5D	4" PVC solid pipe	60	LF	\$2	\$120
5E	Pea gravel for footing drains	5	CY	\$44	\$220
	Subtotal item 5				\$1,120
6	Columns and Hardware				
6A	4"x8"x10' Steel I-Beam (Donation)	6	EA	\$0	\$0
6B	4'x10'x7/16" OSB sheeting	6	EA	\$20	\$120
6C	4'x8' Hardi Plank sheeting	6	EA	\$40	\$240
6D	Brick wrap column base (donation)	72	SF	\$0	\$0
	Subtotal Item 6				\$360

<u>Item</u>	<u>Description</u>	<u>Quantity</u>	<u>Unit</u>	<u>Unit Price</u>	<u>Total</u>
7	Trusses, beams, joists				
7A	6x12 x 20' roof beam	4	EA	\$136	\$544
7B	30-foot scissor truss	21	EA	\$100	\$2,100
7C	2x6 x 20' eave fascia	4	EA	\$19	\$76
7D	Hardware, nails, screws, brackets	1	LS	\$1,000	\$1,000
	Subtotal Item 7				\$3,720
8	Roofing, Underlayment, Sheeting				
8A	4'x8'x7/16" OSB Sheeting	40	EA	\$16	\$640
8B	8'x100' Triply Underlayment	2	EA	\$290	\$580
8C	3'x16' Metal Roof Sheet	28	EA	\$47	\$1,316
8D	10' Metal Gable Trim	8	EA	\$20	\$160
8E	10' Metal Eve Trim	8	EA	\$10	\$80
8F	10' Metal Ridge	4	EA	\$20	\$80
8G	Top & Bottom Closure Seals	60	EA	\$2	\$120
8H	Lap Seal Rolls	4	EA	\$16	\$64
8I	1" Screws	2,000	EA	\$0.10	\$200
8J	Olympic Elite Stain (3 gallon cans)	4	EA	\$128.00	\$512
8K	6-inch Gutters	80	LF	\$8.00	\$640
	Subtotal Item 7				\$4,392
9	Lighting and Electric				
9A	100 Watt Solar Panel	1	EA	\$160	\$160
9B	12 Volt Golf Cart Deep Cell Battery	1	EA	\$240	\$240
9C	500 Watt 12V to 120V Inverter	1	EA	\$60	\$60
9D	Electronic Timer Switch 24/365	1	EA	\$30	\$30
9D	Ceiling Mount Light Fixture	8	EA	\$11	\$88
9E	Wire, Switches, Boxes, Plugs	1	LS	\$100	\$100
9F	Conduit to street for future power	50	LF	\$1	\$50
	Subtotal Item 8				\$728
	SUBTOTAL ITEMS 1 AND 2				\$3,000
	SUBTOTAL ITEMS 3 THROUGH 9				\$15,448
	8% Sales Tax on items 3 thru 9				\$1,235.84
	Total				\$19,683.84
	Plus 20% Contingency for Feasibility Phase Estimating				\$3,936.77
	GRAND TOTAL				\$23,620.61



Roof Rafter Plan View
Scale 3/8" = 1'-0"



North and South Elevation View
Scale 3/8" = 1'-0"

- Rough Quantities:**
 Concrete Slab: 1,200 sf
 Rock Base: 1,200 sf
 6x6x16' Columns: 6
 30' Scissor Truss: 21 (22' support span)
 6x12x20' Beam: 4
 2x6x20' Eave Fascia: 4
 Metal Roof: 1,280 sf
 Wood sheathing: 1,280 sf
 Brick and wood wrap for columns

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 Scissor Truss Option
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